

# Inspection Report

*This inspection performed in accordance with current "Standards of Practice" of the California Real Estate Inspection Association.*



*This home inspection report prepared specifically for:*

**Prospective Client  
123 Anywhere Lane  
Central Coast, CA**



*Inspected by:* **Gregory S. Terry**



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PROPERTY / CLIENT INFORMATION

Report Date: 10/17/2025

Customer File # 21164
Prospective Client
Address:
Phone:
Fax:
Email:

Inspection location: 123 Anywhere Lane
Central Coast, CA
Send report to: Real Estate Agent
Phone:
County: San Luis Obispo
Area/Neighborhood:
Sub-division:

GENERAL INFORMATION

Main entry faces: North
Estimated Age: 46
Type Structure: Single Family Home
Stories: 2
Type Foundation: Slab & Substructure
Soil condition: Dry
Bedrooms: 4
Levels: 2
Full Baths: 2
Half Baths:
Garages: 2 Car
Weather: Clear
Temp: 70-75
Date: 10/17/2025
Time:
Unit occupied: no
Client present: yes
Attendees: Buyer & Buyer's Agent

General Overview

Notice to 3rd parties or other purchasers: Receipt of this report by any purchasers of this property other than the above listed party(s) is not authorized. This report is prepared for the exclusive and sole use of the client listed above. This report is a work product and is copyrighted by the company shown above. Duplication by any means whatsoever is prohibited. Unauthorized duplication of, use or reliance on this report has the effect of all parties agreeing to hold harmless, individually or jointly, and or otherwise, the inspector, the Corporation, their successors and assigns.

Handwritten signature of Gregory S. Terry

Inspector: Gregory S. Terry

REPORT LIMITATIONS

This report has been prepared for the sole and exclusive use of the client indicated above and is limited to an impartial opinion which is not a warranty that the items inspected are defect-free, or that latent or concealed defects may exist as of the date of this inspection or which may have existed in the past or may exist in the future. The report is limited to the components of the property which were visible to the inspector on the date of the inspection and his opinion of their condition at the time of the inspection.

# Roof

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Roof coverings: <b>Defective</b>	<b>Recommend further Evaluation by a Roofing Contractor</b>	<b>Major Concern</b>
2	Ventilation: <b>Acceptable</b>		
3	Flashings: <b>Defective</b>	<b>Recommend further Evaluation by a Roofing Contractor</b>	<b>Active Leak</b>
4	Skylights: <b>Defective</b>	<b>Recommend further Evaluation by a Roofing Contractor</b>	<b>Active Leak</b>
5	Chimneys: <b>Acceptable</b>		
6	Gutter system: <b>Not Present</b>	<b>Repair - See Comments below</b>	<b>Maintenance Item</b>
7	:		
8	:		

## INFORMATION

9	Main roof age: <b>46 Years old approximately</b>	14	Ventilation: <b>Eaves</b>
10	Other roof age:	15	Chimney: <b>Metal</b>
11	Inspection method: <b>Viewed from ground/Ladder</b>	16	Chimney flue: <b>Metal</b>
12	Roof covering: <b>Clay Tile</b>	17	Gutters: <b>None</b>
13	Roofing layers: <b>1st</b>	18	Roof Style: <b>Gable</b>

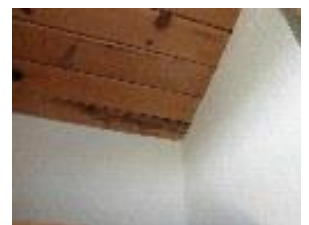
## ROOF COMMENTS

18 **General Note:** Our roof inspection is to report on the type and condition of the roofing materials, missing and/or damaged materials and attachments. (excluding ancillary items such as antennas, satellite dishes, solar panels, etc.) This does not constitute a warranty, guarantee, roof certification or life expectancy evaluation of any kind. Roofs are not water tested for leaks. Condition of the roof underlayment is not visible and therefore cannot be evaluated. Structures that have concrete tile, clay or wood shake/shingle materials that are going to be tented for fumigation are advised to be reinspected for damage caused after the tent is removed and prior to the close of escrow.

**Maintenance Note:** Recommend installing gutters and downspouts to improve lot drainage and protect the exterior of the home. The downspouts should be extended to drain the surface water away from the perimeter of the foundation.

**Information Note:** The condition of the felt underlayment below the roof tiles is not visible for evaluation however; based on the age of the home it may be nearing the end of a normal life expectancy. The typical life expectancy for this type of roof is 40 years and it is currently 46 years old. Budget for replacement of the roof.

- 1.) There are multiple broken clay tiles at various portions of the roof.
- 2.) There is a dislodged roof-to-wall flashing at the NW corner of the master bedroom.
- 3.) There is no edge flashing installed. (Note: This has resulted in moisture damage to the fascia boards in multiple locations. See the Exterior Page)
- 4.) There is no mortar installed above the clay tiles at the roof-to-wall interface flashing at the first story south side of the roof.
- 5.) There is evidence of leak at the skylight above the master bathroom.



# Roof

## ROOF COMMENTS - Continued

18 6.) There is evidence of leaks at the base of the valleys as seen from the exterior eaves.

7.) There is evidence of leaks in the attic, garage, master bedroom, living room and master bathroom.

**Special Note:** Based on the observations above, it is recommended to have the entire roofing system further evaluated by a qualified and licensed Roofing Contractor to determine the full extent of repairs needed and the associated costs of these repairs prior to close of escrow.



**INSPECTION PHOTOS**

**Roof # R**



**Dislodged roof-to-wall flashing.**

**Roof # R**



**Evidence of leaks at the skylight.**

**Roof # R**



**Evidence of leaks in the master bedroom.**

**Roof # R**



**Evidence of leaks in the living room.**

**Roof # R**



**Evidence of leaks in the garage.**

**Roof # R**



**Example of the cracked and broken roof tiles.**

## INSPECTION PHOTOS

Roof

# R



Example of the cracked and broken roof tiles.

# Exterior

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Siding: <b>Acceptable</b>		
2	Trim/fascias/soffits: <b>Poor Condition</b>	<b>Repair - See Comments Below</b>	<b>Major Concern</b>
3	Veneer: <b>N/A</b>		
4	Doors: <b>Defective</b>	<b>Repair - See Comments Below</b>	<b>Major Concern</b>
5	Windows: <b>Most Acceptable</b>	<b>Repair - See Comments Below</b>	<b>Potential Leak</b>
6	Hose faucets: <b>Acceptable</b>		
7	Electrical cable: <b>Not Inspected</b>		
8	Exterior electrical:	<b>See the Electrical Page</b>	

## INFORMATION

9	Siding type: <b>Stucco</b>	13	Window Type: <b>Fixed/Sliding</b>
10	Veneer type: <b>None</b>		
11	Trim/fascias type: <b>Wood</b>	14	Window material: <b>Aluminum</b>
12	Door type: <b>Wood &amp; Sliders</b>	15	Electric service cable: <b>Underground</b>

## EXTERIOR COMMENTS

16 1.) There is moisture damage and termite infestation/damage in numerous locations at the perimeter eaves and fascia boards. (See photos) Refer to the Pest Control Report for a full accounting of this damage.

**Fire Safety Hazard Note:** There is a double cylinder dead bolt at the front entry door. (This is the type of dead bolt that requires a key to be used from the interior of the door to unlock) This type of dead bolt is no longer permitted because the occupant can lock themselves inside creating a fire escape hazard. (Note: This is required to be replaced in the State of California if the house is used as a rental property.)

1.) There is evidence of moisture intrusion at the base of the sliding glass doors in the master bedroom and dining room. This appears to be from leaks at the pan flashing below the door threshold. This has resulted in moisture damage to the interior plywood subflooring and this damage appears to extend into the concealed floor framing. Additionally, there is evidence of bug damage/infestation. Proper repair would appear to required removal of the sliding glass doors. Recommend further evaluation of this condition by a qualified and licensed General Contractor and Pest Control Inspector prior to close of escrow.

2.) The garage side door is an interior rated door type. This door will be subject to premature deterioration due to the exterior weather conditions.

3.) The fixed window on the north wall of the garage is cracked.

4.) There is evidence of leaks at two of the large fixed windows on the north wall of the living room.

5.) There is moisture damage to several of the posts on the south and SE walls of the sun room.



# Exterior

## EXTERIOR COMMENTS - Continued

- 16 6.) There is moisture damage and termite infestation/damage to the wood trim at the top of the chimney enclosure.
- 7.) There is one damaged window screen.

**INSPECTION PHOTOS**

**Exterior # EX**



**Example of the moisture and termite infestation/damage at the exterior eaves.**

**Exterior # EX**



**Example of the moisture and termite infestation/damage at the exterior eaves.**

**Exterior # EX**



**Example of the moisture and termite infestation/damage at the exterior eaves.**

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**Example of the moisture and termite infestation/damage at the exterior eaves.**

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**Example of the moisture and termite infestation/damage at the exterior eaves.**

**Exterior # EX**



**Example of the moisture and termite infestation/damage at the exterior eaves.**

**INSPECTION PHOTOS**

**Exterior # EX**



**Evidence of leaks at the large fixed windows in the living room.**

**Exterior # EX**



**Example of the moisture and termite infestation/damage at the exterior eaves.**

**Exterior # EX**



**Example of the moisture and termite infestation/damage at the exterior eaves.**

**Exterior # EX**



**Example of the moisture and termite infestation/damage at the exterior eaves.**

**Exterior # EX**



**Leaks with moisture and bug damage to the interior subflooring by the sliding glass door in the mas. bed**

**Exterior # EX**



**Leaks with moisture and bug damage to the interior subflooring by the sliding glass door in the dining rm.**

**INSPECTION PHOTOS**

**Exterior**

**# EX**



**Example of the moisture and termite infestation/damage at the exterior eaves.**

**Exterior**

**# EX**



**Moisture damage at the base of the exterior walls in the sun room.**

**Exterior**

**# EX**



**Moisture damage at the base of the exterior walls in the sun room.**

**Exterior**

**# EX**



**Example of the moisture and termite infestation/damage at the exterior eaves.**

**Exterior**

**# EX**



**Moisture and termite damage to the wood trim at the top of the chimney enclosure.**

# Grounds & Drainage

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Drainage:	<b>Most Acceptable</b>	<b>Drainage Corrections Needed</b>
2	Trees & shrubs:	<b>Acceptable</b>	
3	Walks & Steps:	<b>Most Acceptable</b>	<b>Repair - See Comments Below</b>
4	Porch/Deck:	<b>Avg. Condition</b>	<b>Repair - See Comments Below</b>
5	Driveway:	<b>Avg. Condition</b>	<b>Repair - See Comments Below</b>
6	Retaining walls:	<b>Acceptable</b>	
7	Fencing & Gates:	<b>Acceptable</b>	
8	:		

## INFORMATION

9	Walks & Steps: <u>Concrete &amp; Wood</u>	13	Porch: <u>Wood Deck</u>
10	Patio: <u>Wood Decks</u>	14	Location: <u>Front</u>
11	Location: <u>Front &amp; Rear</u>	15	Retaining walls: <u>Concrete &amp; Stucco</u>
12	Driveway: <u>Concrete</u>	16	:

## GROUNDS & DRAINAGE COMMENTS

**17** Soil condition and stability on sloped or steep lots is not determined or within the scope of this inspection. If concerned, this evaluation would require the expertise of a qualified and licensed Geotechnical Engineer.

General Note: Any reference to grading is limited to only areas around the exposed areas of the foundation or exterior walls. We cannot determine drainage performance of the site or site soil conditions. We do not evaluate any detached structures such as storage sheds and stables, nor mechanically or remotely controlled components such as driveway gates.

**Information Note:** The front yard pond and associated plumbing systems were not included in the scope of this inspection.

1.) There is moisture damage and termite infestation/damage in multiple locations at all of the site decks. (See photos) Parts of the front and rear decks were not fully visible due to the low clearance construction. Refer to the Pest Control Report for a full accounting of this damage.

**Safety Upgrade Note:** The railings at front decks do not meet the current standard of 42 inches in height. Although the current height may have met the requirements at the time of construction, upgrading to the newest standards is advised for safety.

**Safety Upgrade Note:** The railings at front entry stairs do not meet current standards for height or grasp ability. It was very typical to use a 2X4 or 2X6 rail cap for many years however, this type of rail cap can be difficult to grab in the event of slipping on the stairs. New requirements are for a 1 1/4" to 2" maximum width rail cap that should be installed from 34" to 38" in height as measured from the nose of the stair tread. Additionally, There should be no openings in the railing greater than four inches. Although they may have met the standards at the time of original construction, upgrading to the newest standards is advised.



# Grounds & Drainage

## GROUNDS & DRAINAGE COMMENTS - Continued

- 17 2.) There is moisture damage throughout the framing and rafters at the pergola structure above the backyard deck.

**Safety Hazard Note:** There is no railing installed at the backyard deck stairs. This is required when there is four or more continuous risers. This can be a falling hazard.

**Safety Hazard Note:** There is a missing guard rail at the east end of the backyard wood deck where the spa was abandoned. This can be a falling hazard.

- 3.) There are general settlement cracks in the concrete driveway.

**Safety Hazard Note:** There are damaged wood spacers at the concrete driveway. This can be a tripping hazard particularly for women wearing heeled shoes.

**Drainage Note:** There is a faulty grade at the south wall of the garage and the south wall of the sun room. (This is where the soil elevation against the exterior wall is higher than the stucco screed at the base of the wall.) This can be a moisture intrusion condition. Recommend corrective grading as needed.

**INSPECTION PHOTOS**

**Grounds & Drainage # GD**



General settlement cracks in the concrete driveway.

**Grounds & Drainage # GD**



Damaged and missing wood spacers in the concrete driveway.

**Grounds & Drainage # GD**



Example of the moisture and termite damage at the site decks.

**Grounds & Drainage # GD**



Example of the moisture and termite damage at the site decks.

**Grounds & Drainage # GD**



Example of the moisture and termite damage at the site decks.

**Grounds & Drainage # GD**



Example of the moisture and termite damage at the site decks.

**INSPECTION PHOTOS**

**Grounds & Drainage # GD**



**Example of the moisture and termite damage at the site decks.**

**Grounds & Drainage # GD**



**Example of the moisture and termite damage at the site decks.**

**Grounds & Drainage # GD**



**Missing railing at the backyard deck stairs.**

**Grounds & Drainage # GD**



**Moisture damage to the framing at the pergola.**

**Grounds & Drainage # GD**



**Moisture damage to the framing at the pergola.**

**Grounds & Drainage # GD**



**Moisture damage to the framing at the pergola.**

**INSPECTION PHOTOS**

**Grounds & Drainage # GD**



**Moisture damage to the framing at the pergola.**

**Grounds & Drainage # GD**



**Moisture damage to the framing at the pergola.**

**Grounds & Drainage # GD**



**Moisture damage to the framing at the pergola.**

**Grounds & Drainage # GD**



**Moisture damage to the framing at the pergola.**

# Heating & Cooling

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1 A/C operation:	N/A		
2 Heating operation:	Functional	Repair - See Comments Below	Safety Hazard
3 System back-up:	N/A		
4 Exhaust system:	Acceptable		
5 Distribution:	Acceptable		
6 Thermostat:	Functional		
7 Gas Piping:	Acceptable		
8 Condensate:	N/A		
9 :			
10 Filter:	Poor Condition	Repair - See Comments Below	Maintenance Item

### INFORMATION

11 # Heating Units: <u>1</u>	18	# Cooling Units: <u>0</u>
12 Heating Types: <u>Forced Air</u>	19	A/C Types: _____
13 Heating Ages: <u>15 (Estimate)</u> years	20	A/C age: _____
14 Heating Fuels: <u>Natural Gas</u>	21	Filter: <u>Cleanable Media - Base of Heater</u>
15 Distribution: <u>Ductwork</u>	22	Heat Source Mfg. <u>American Standard (80,000 BTU)</u>
16 Duct Insulation Type: <u>Fiberglass</u>	23	A/C Source Mfg. _____
17 Gas Shutoff Location: <u>Front Yard</u>		

### HEATING & COOLING COMMENTS

24 **Our inspection of the major HVAC systems is limited to the normal functions of the systems. Independent evaluations including adequacy/inadequacy of heating and cooling systems (such as cracked heat exchangers, air conditioning pressure tests, coolant charge, line integrity, air balance or evaporative cooling coils, etc.) are not within the scope of this inspection. Thermostats are not checked for calibration or timer functions. Normal service maintenance of these systems is recommended to be performed annually.**



**General Note: Forced Air Heating systems greater than 15 years old and Air Conditioning & Heat Pump systems greater than 10 years old are considered at the end of a normal life expectancy by the standards of most manufactures and tradesmen. The inspector will operate these systems to see if they are functional at the time of inspection however, they may be subject to failure at any time. If concerned about life expectancy of these systems, it is advised to have these systems fully evaluated by a qualified and licensed HVAC Contractor prior to close of escrow.**

**Safety Hazard Note: The blower door safety switch has been taped in a closed position. The purpose of this switch is to shut off the furnace if the blower door cover is dislodged. This is to prevent to products of combustion from mixing with the circulation air resulting in a carbon monoxide hazard.**

**Maintenance Note: The air filter is dirty and in need of cleaning.**

## INSPECTION PHOTOS

HVAC

# HC



The blower door safety switch has been taped in a closed position.

# Plumbing

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Supply pipes:	<b>Acceptable</b>	
2	Waste/vent pipes:	<b>Acceptable</b>	
3	Funct'l water flow:	<b>Acceptable</b>	
4	Funct'l waste drain:	<b>Most Acceptable</b>	<b>Repair - See Comments Below</b>
5	Well system:	<b>N/A</b>	
6	Septic system:	<b>N/A</b>	
7	Water heater:	<b>Most Acceptable</b>	<b>Repair - See Comments Below</b>
8	TPR Valve:	<b>Present</b>	<b>Repair - See Comments Below</b>

## INFORMATION

9	Water supply represented as:	<b>Municipal</b>	14	Waste system represented as:	<b>Municipal</b>
10	Supply pipes:	<b>Copper</b>	15	Septic location:	<b>N/A</b>
11	Pipe insulation type:	<b>None</b>	16	Waste/Vent pipes:	<b>ABS Plastic</b>
12	Water Shutoff Location:	<b>NE Wall</b>	17	Water Heater Manf.:	<b>Bradford White</b>
13	Well location:	<b>N/A</b>	18	Water Heater Gallons:	<b>40</b>
			19	Water Heater Fuel:	<b>Natural Gas</b>

## PLUMBING COMMENTS

20 **The water temperature is not tested or verified. Water that is hotter than the manufacturers recommended setting is a scalding hazard. The water temperature should never be set higher than the manufacturers recommended setting. We recommend that the temperature setting on the hot water heater be checked at move-in for safety.**

**Shutoff valves and angle stops at kitchen or bathrooms sinks and toilets are not tested due to the possibility of leaking.**

**Information Note: The water pressure was measured at 60 psi at the time of inspection. This is within a normal and acceptable range. Since the house is equipped with a pressure regulator it should be monitored and retested periodically to ensure that the pressure is below the maximum allowable 80 psi.**

**Information Note: There is a flow sensor device installed at the main water riser.**

- 1.) There is a leak at the 4" drain waste line at the SE portion of the substructure area.
- 2.) There is no sediment trap installed at the gas line connection to the water heater as required.
- 3.) The discharge pipe for the TPR valve on the water heater terminates improperly. This pipe should terminate at the exterior of the garage.



## INSPECTION PHOTOS

Plumbing

# P



Flow sensor installed at the main water riser.

Plumbing

# P



The water pressure was measured at 60 psi.

Plumbing

# P



Leak at the drain waste line in the substructure area.

Plumbing

# P



Missing sediment trap at the gas line connection to the water heater.

# Electrical System

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Wiring at main box:	<b>Most Acceptable</b>	<b>Fire Hazard - Advise repairs by an Electrical Contractor</b>
2	Ground:	<b>Acceptable</b>	
3	GFCI:	<b>Most Acceptable</b>	<b>Repair - See Comments Below</b>
4	Amperage:	<b>Acceptable</b>	
5	Wiring:	<b>Acceptable</b>	
6	Outlets:	<b>Acceptable</b>	
7	Lighting:	<b>Acceptable</b>	
8	:		

### INFORMATION

9	Amps: <b>100</b>	14	Branch circuit wiring: <b>Copper</b>
10	Volts: <b>110/220</b>	15	Grounding: <b>Water Pipes &amp; Ground Rod</b>
11	Main box location: <b>NE Wall</b>	16	Ground fault protection at: <b>Exterior Only</b>
12	Main Disconnect: <b>At Main Panel</b>		
13	Main service conductor: <b>Copper</b>	17	Main box type: <b>Breakers</b>
		18	Wiring type: <b>Romex</b>

### ELECTRICAL SYSTEM COMMENTS

19 **Information Note:** The type of electrical panel installed in this home was manufactured by Zinsco. This panel has had some controversy among electrical contractors because in some cases they can arc and burn where they connect to the bus bar. It is not possible to see this condition without removal of the circuit breakers. Recommend further evaluation by a qualified and licensed Electrical Contractor.



**Fire Safety Hazard Note:** There is double tapping in the main electrical service panel. (This is where two conductors are connected to a single circuit breaker.) This is advised to be corrected by a qualified and licensed Electrical Contractor.

**Safety Hazard Note:** The couplers are missing at two of the 30 amp 220 volt circuit breakers in the main electrical service panel.



1.) The GFCI outlet on the exterior wall by the front entry door is defective and will not trip. Also, an approved outdoor rated cover plate needs to be installed.

**Safety Hazard Note:** There is no GFCI protection at the bathroom outlets as required.

**Safety Upgrade Note:** There is no GFCI protection for the outlets in the garage, kitchen or at the wet bar due to the age of this home. Recommend upgrading for safety.

2.) There is some exposed Romex wiring in the cabinet below the kitchen range. This type of wiring should be installed in conduit for physical protection.

## INSPECTION PHOTOS

Electrical

# EL



Double tapping at one of the circuit breakers in the main electrical service panel.

Electrical

# EL



Missing conduit at the Romex wiring in the cabinet below the kitchen range.

# Kitchen & Laundry

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
<b>KITCHEN</b>			
1	Walls/ceiling/floor:		
2	Doors & windows:	<b>Acceptable</b>	
3	Heating & cooling:	<b>See HVAC Page</b>	
4	Cabinets/shelves:	<b>Acceptable</b>	
5	Sink plumbing:	<b>Acceptable</b>	

<b>APPLIANCES</b>			
6	Disposal:	<b>Functional</b>	
7	Dishwasher:	<b>Functional</b>	
8	:		
9	Exhaust fan:	<b>Functional</b>	
10	Microwave:	<b>Functional</b>	
11	:		
12	:		
13	Range/oven:	<b>Functional</b>	
14	Gas or electric?	<b>Electric</b>	

<b>LAUNDRY</b>			
15	Walls/ceiling/floor:	<b>See Interior Page</b>	
16	Doors & windows:	<b>See Interior Page</b>	
17	Washer plumbing:	<b>Acceptable</b>	
18	Sink plumbing:	<b>N/A</b>	
19	Cabinets/shelves:	<b>Acceptable</b>	
20	Heating & cooling:	<b>See HVAC Page</b>	
21	Dryer vent:	<b>Most Acceptable</b> <b>Repair - See Comments Below</b>	<b>Maintenance Item</b>
22	:		
23	:		
24	Dryer service:	<b>Acceptable</b> <b>See Comments Below</b>	
25	Gas or electric?	<b>Both</b>	

### KITCHEN AND LAUNDRY COMMENTS

**26** Inspection of the kitchen components is limited to the built-in appliances and plumbing systems. These items are tested under normal operating conditions. Extensive evaluation such as calibration of timers, clocks, heat settings, thermostat accuracy, self-cleaning functions, etc. are outside the scope of this inspection. Dishwasher cleaning and drying adequacy is not verified.

**Fire Safety Maintenance Note:** The dryer lint exhaust vent needs to be cleaned annually to prevent a back up of lint which is a very common cause of a residential fire. In most cases owners never have the lint vent cleaned. It is recommended to have the dryer lint exhaust vent professionally cleaned prior to the installation of the dryer and then annually after that.

**Information Note:** The gas line to the laundry facilities was capped off and could not be tested.

Menu

# Bathrooms

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1 Walls, ceiling, floor:		See Interior Page	
2 Doors & windows:		See Interior Page	
3 Heating & cooling:		See HVAC Page	
4 Cabinets & counter:	Acceptable		
5 Vents:	Most Acceptable	Repair - See Comments Below	Moderate Concern
6 Sinks:	Most Acceptable	Recommend further evaluation by a Plumbing Contractor	Potential Leak
7 Toilets:	Acceptable		
8 Tubs:	Most Acceptable	Repair - See Comments Below	Maintenance Item
9 Showers:	Most Acceptable	Repair - See Comments Below	Moderate Concern
10 :			

## BATHROOMS INSPECTED

11 # of Half baths: 12 # of Full baths: 2 13 # of 3/4 baths:

## BATHROOM COMMENTS

14 **Our inspection of the bathrooms is to report on visible leaks and operations of the fixtures. Inaccessible piping and shower pans are outside the scope of this inspection. Shower pans, enclosures and doors are not tested for water tightness, visual observations only.**

**Low Flow Information for State requirements:**

- A.) The master bathroom has a low flow 1.28 GPF toilet. The shower does have a low flow shower head of 1.5 GPM
- B.) The hall bathroom has a low flow 1.28 GPF toilet. The shower does have a low flow shower head of 1.5 GPM.

- 1.) The shower door is missing in the master bathroom.
- 2.) Caulking is needed to seal the gaps where the vinyl flooring interfaces with the sides of the bathtub and shower pan in the master bathroom.
- 3.) There is a hole in the drywall where plumbing repairs were performed in the cabinet below the sink in the master bathroom.
- 4.) There is excessive corrosion which can result in leaks at the angle stop valves below the sink in the hall bathroom.
- 5.) The towel racks are loose in the hall bathroom.
- 6.) The ceiling exhaust fan in the hall bathroom is inoperable.



## INSPECTION PHOTOS

Bathroom

# B



Seal gaps where the vinyl flooring interfaces with the tub and shower in the master bathroom.

Bathroom

# B



Excessive corrosion on the angle stop valves below the sink in the hall bathroom.

Bathroom

# B



Hole in the drywall below the sink in the master bathroom.

# Interior Rooms

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1 Walls, ceiling, floor:	<b>Most Acceptable</b>	<b>Repair - See Comments Below</b>	<b>Moderate Concern</b>
2 Doors & windows:	<b>Acceptable</b>		
3 Heating & cooling:		<b>See HVAC Page</b>	
4 Cabinets & counter:	<b>Acceptable</b>		
5 Wet Bar:	<b>Acceptable</b>		
6 Fireplc/woodstove:	<b>Most Acceptable</b>	<b>Recommend further evaluation by a Fireplace Contractor</b>	<b>Fire Safety Hazard</b>
7 Smoke detectors:	<b>Most Acceptable</b>	<b>Repair - See Comments Below</b>	<b>Safety Upgrade</b>
8 CO detectors:	<b>Not Present</b>	<b>Repair - See Comments Below</b>	<b>Safety Hazard</b>
9 Stairs/balcony/rails:	<b>Most Acceptable</b>	<b>Repair - See Comments Below</b>	<b>Safety Hazard</b>
10 :			

## INFORMATION

11 Rooms inspected: Bedrooms #: <b>4</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="padding: 2px;">Living Room</td></tr> <tr><td style="padding: 2px;">Dining Room</td></tr> <tr><td style="padding: 2px;">Sun Room</td></tr> <tr><td style="padding: 2px;">Laundry Room</td></tr> </table>	Living Room	Dining Room	Sun Room	Laundry Room	12 Walls & ceilings: <b>Sheet Rock, Wallpaper &amp; Wood</b> 13 Floors: <b>Carpet, Vinyl &amp; Tile</b> 14 Number of wet bars: <b>1</b> 15 Number of fireplaces/woodstoves: <b>1</b> 16 Fuel source: <b>Solid Fuel w/ Gas Starter Pipe</b>
Living Room					
Dining Room					
Sun Room					
Laundry Room					

## INTERIOR ROOM COMMENTS

17 **Our evaluation of the interior is to determine the functionality of doors, windows and interior finishes. Cosmetic issues are not contemplated.**

**Information Note:** Smoke detectors were present in the following locations at the time of inspection: The downstairs hallway and in each of the four bedrooms.

**Safety recommendation:** The smoke detectors are tested during the inspection however, this only determines that they are functional on the day of the inspection. Smoke detectors can fail at any time. Retest all of the smoke detectors during the final walkthrough and again upon moving in. We recommend installing new batteries in all of the smoke detectors upon moving in and testing weekly as recommended by the Consumer Product Safety Commission.

**Fire Safety Hazard Note:** There is no smoke detector installed outside of the master bedroom as required. Also, the battery needs to be replaced at the smoke detector in the downstairs hallway.

**Safety Hazard Note:** The Carbon Monoxide Poisoning Prevention Act of 2010 requires a carbon monoxide detector device (battery or hard-wired) to be installed in all dwelling units. We recommend installation of CO detectors in the hallways outside of the bedrooms and on each level of the home.

**Information Note:** The acoustical spray ceilings at the interior of the home may be an asbestos product. For more information contact a qualified and licensed Asbestos Contractor.



# Interior Rooms

## INTERIOR ROOM COMMENTS - Continued

- 17 1.) There is evidence of subterranean termite infestation/damage at the base of the wall in the sun room adjacent to the sliding glass door.
- 2.) There is a brown mildew like substance on the drywall inside the master closet and the front bedroom closet. (See notes on the Deficiency Summary Page regarding the potential for microbial contamination.)
- Safety Hazard Note:** The ends of the stair railings do not return to the wall at the top and the bottom of the interior stairs. This is required to prevent clothing from catching on the railing creating a falling hazard.
- Safety Upgrade Note:** The pony wall at the top of the interior stairs do not meet the current height requirement of minimum 42 inches. Although the current height may have meet the standards at the time of construction, upgrading to meet the newest standard is recommended.
- Fire Safety Hazard Note:** Noncombustible caulking is needed in the gaps where the gas lighter log for the fireplace penetrates the side wall refractory plate. (Note: The gas pipe was capped off so it could not be tested.)
- 3.) The heatilator fan at the fireplace is seized and inoperable.

## INSPECTION PHOTOS

Interior Room

# IR



Evidence of subterranean termite infestation at the base of the sun room wall.

Interior Room

# IR



The stair railings do not return to the wall.

Interior Room

# IR



Brown mildew like substance on the drywall inside the closet.

Interior Room

# IR



Gaps around the gas pipe in the fireplace need to be sealed.

# Garage & Carport

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Roof:	Acceptable	
2	Walls:	Acceptable	
3	Eaves:	Acceptable	
4	Electrical:	See the Electrical Page	
5	Gutters:	See the Roof Page	

## INTERIOR

6	Walls/ceiling/floor:	Most Acceptable	Repair - See Comments Below	Active Leak
7	Firewall/firedoor:	Most Acceptable	Fire Hazard - See Comments Below	Fire Safety Hazard
8	Doors & windows:	Acceptable		
9	Garage doors:	Acceptable		
10	Door openers:	Acceptable		
11	Electrical:		See the Electrical Page	
12	Heating & cooling:	N/A		

## INFORMATION

EXTERIOR		INTERIOR	
13	Location: <u>Attached garage - same as house</u>	17	Walls & ceilings: <u>Sheet rock</u>
14	Roof covering: <u>Same as House - See Roof Page</u>	18	Floors: <u>Concrete</u>
15	Roof age: <u>46 Years old approximately</u>	19	Garage door: <u>Double Overhead</u>
16	Gutters: <u>None</u>		

## GARAGE & CARPORT COMMENTS

20 **Fire Safety Hazard Note:** The common door between the garage and the house is not self closing and/or self latching. This is required as part of the firewall assembly between the garage and home.

1.) There is evidence of water intrusion at the interior SW corner of the garage. This appears to be due to the faulty grade at the exterior wall.

2.) There is a general settlement crack at the center of the concrete slab.

3.) There is evidence of leaks at the interior NE wall of the garage. This has created a black mildew like stain on the drywall. (See notes on the Deficiency Summary Report regarding the potential for microbial contamination.)

4.) There is a loose roller hinge at the garage vehicle door.



**INSPECTION PHOTOS**

**Garage & Carport # GC**



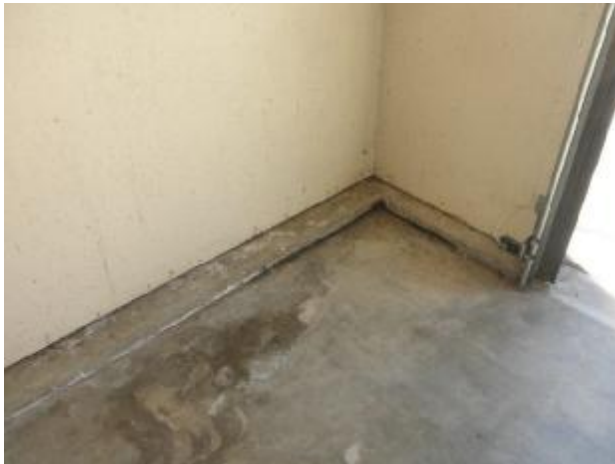
**Evidence of leaks with a black mildew like substance on the drywall inside the garage.**

**Garage & Carport # GC**



**Evidence of leaks with a black mildew like substance on the drywall inside the garage.**

**Garage & Carport # GC**



**Water intrusion at the interior SW corner of the garage.**

**Garage & Carport # GC**



**General settlement crack in the garage concrete slab.**

**Garage & Carport # GC**



**Loose roller hinge at the garage door.**

# Attic

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Access: <b>Limited</b>	See Comments Below	
2	Framing: <b>Acceptable</b>		
3	Sheathing: <b>Acceptable</b>		
4	Insulation: <b>Acceptable</b>		
5	Ventilation: <b>Most Acceptable</b>	Repair - See Comments Below	Maintenance Item
6	Exposed wiring:	See the Electrical Page	
7	Plumbing vents: <b>Acceptable</b>		
8	Chimney & flues: <b>Acceptable</b>		
9	Vapor Retarder: <b>N/A</b>		
10	:		

## INFORMATION

11	# of Attic areas: <b>2</b>	14	Framing: <b>Conventional</b>
12	Access locations: <b>Hallway Closet &amp; Master Closet</b>	15	Sheathing: <b>Plywood</b>
13	Access by: <b>Hatch</b>	16	Insulation: <b>Batts 6"</b>

## ATTIC COMMENTS

17 **Information Note: Some areas of the attic can be limited due to low clearances and insulation.**

1.) There is a damaged screen at the attic ventilation opening at the second story SW eave.

**Further Inspection Note: There was no access provided to the attic space above the garage as required. Recommend having an access opening installed and performing a supplemental inspection of this area prior to close of escrow.**

# Foundation

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
Foundation Type <b>Slab &amp; Substructure</b>			
1	Access: <b>Acceptable</b>		
2	Foundation walls: <b>Acceptable</b>		
3	Floor framing: <b>Acceptable</b>		
4	Insulation: <b>N/A</b>		
5	Ventilation: <b>Acceptable</b>		
6	Sump pump: <b>N/A</b>		
7	Dryness/drainage: <b>Acceptable</b>		
8	Floor/Slab: <b>Acceptable</b>	<b>See Comments Below</b>	
9	Vapor Retarder: <b>N/A</b>		
10	Anchor Bolts: <b>Present</b>		

## INFORMATION

11	Foundation walls: <b>Poured Concrete</b>	14	Beams: <b>4X Wood</b>
12	Floors: <b>Dirt</b>	15	Piers: <b>Concrete Piers</b>
13	Joist/Truss Detail: <b><u>2X6 @ 16" OC</u></b>	16	Sub Floor: <b>Plywood</b>
		17	Insulation: <b>None</b>

## FOUNDATION COMMENTS

- 18 *Engineering analysis of a building structure can only be performed by a licensed structural engineer using measurements, calculations and other scientific means of evaluation. Engineering is beyond the scope of a typical home inspection.*

**Information Note:** The substructure access opening is located at the exterior north wall.

**Maintenance Note:** There are wood scrapes or other cellulose debris in the substructure area. This is conducive to termite infestation and is recommended to be removed.

**Repair Note:** There is no ventilation installed for the substructure area. Recommend installing a minimum of 1 SF of ventilation openings for every 150 SF of crawl space area. These should be installed so as to provide cross ventilation.

1.) There is surface fungus and minor fungus damage to the cripple wall and plywood subflooring at the center south side of the substructure area.

**Information Note:** The foundation system appears consistent with the era in which it was constructed. In newer construction there is considerably more reinforcement for lateral stability. Consider installing additional improvements such as shear walls, additional hold downs, gusset plates on the beam to post connections, etc.



# Foundation

## FOUNDATION COMMENTS - Continued

- 18 *General Note: All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. In most instances floor coverings prevent the recognition of cracks or settlement in all but the most severe cases. Where carpeting and floor coverings are installed, the materials and condition of the slab underneath cannot be determined. Areas hidden from view by finished walls or stored items cannot be judged and are not part of this inspection. We are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert. We always recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.*

**Information Note:** The concrete foundation slab on grade portion of the foundation in the sun room is not visible due to the finish flooring in the home. There were no secondary visible observations of problems throughout the home which would indicate a structural deficiency with the slab.

## INSPECTION PHOTOS

Foundation

# F



Fungus damage at the cripple wall and plywood subflooring in the substructure area.

Foundation

# F



Fungus damage at the cripple wall and plywood subflooring in the substructure area.

# Deficiency Summary

Terry Home Inspection Services, Inc. PO Box 2705 Atascadero, CA 93423 (805) 434-2694

Insp Date: 10/17/2025

123 Anywhere Lane

File # 21164

**NOTE: The client(s) is/are strongly advised to further investigate, or contract with qualified and/or licensed appropriate tradesperson to further investigate, the complete extent of possible repairs and associated costs with all the items in the body of the report not listed as "Acceptable" or "Functional" PRIOR TO CLOSE OF ESCROW.**

**Mold, mildew, fungus and other microbial organisms commonly occur in areas that show evidence of or have the potential for leaking, moisture intrusion and/or inadequate ventilation. The identification of or presence of these organisms is beyond the scope of this inspection. If concerned about this possibility, we recommend further investigation be performed by a Certified Industrial Hygienist to determine if there exists an active (or potential for) infestation or climate for incubation of a microbial contamination prior to close of escrow. (See the Garage and Interior Pages)**

**Product recalls and consumer product safety alerts are added almost daily. If client(s) is/are concerned about appliances or other items in the home that may be on such lists, client(s) may wish to visit the U.S. Consumer Product Safety Commission (CPSC) web site at [www.cpsc.gov](http://www.cpsc.gov) or [www.recalls.com](http://www.recalls.com)**

**The presence of environmental hazards, materials or conditions including, but not limited to, lead, asbestos, radon, toxic, combustible or corrosive contaminants is outside the scope of this inspection. If client(s) is/are concerned regarding these matters, it is recommended to obtain the consultation services of an appropriate and qualified tradesperson who specializes in these types of investigations and evaluations.**

## ROOF

**Maintenance Note: Recommend installing gutters and downspouts to improve lot drainage and protect the exterior of the home. The downspouts should be extended to drain the surface water away from the perimeter of the foundation.**

**Information Note: The condition of the felt underlayment below the roof tiles is not visible for evaluation however; based on the age of the home it may be nearing the end of a normal life expectancy. The typical life expectancy for this type of roof is 40 years and it is currently 46 years old. Budget for replacement of the roof.**

- 1.) There are multiple broken clay tiles at various portions of the roof.
- 2.) There is a dislodged roof-to-wall flashing at the NW corner of the master bedroom.
- 3.) There is no edge flashing installed. (Note: This has resulted in moisture damage to the fascia boards in multiple locations. See the Exterior Page)
- 4.) There is no mortar installed above the clay tiles at the roof-to-wall interface flashing at the first story south side of the roof.
- 5.) There is evidence of leak at the skylight above the master bathroom.
- 6.) There is evidence of leaks at the base of the valleys as seen from the exterior eaves.
- 7.) There is evidence of leaks in the attic, garage, master bedroom, living room and master bathroom.

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# Deficiency Summary

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**Special Note:** Based on the observations above, it is recommended to have the entire roofing system further evaluated by a qualified and licensed Roofing Contractor to determine the full extent of repairs needed and the associated costs of these repairs prior to close of escrow.

## EXTERIOR

1.) There is moisture damage and termite infestation/damage in numerous locations at the perimeter eaves and fascia boards. (See photos) Refer to the Pest Control Report for a full accounting of this damage.

**Fire Safety Hazard Note:** There is a double cylinder dead bolt at the front entry door. (This is the type of dead bolt that requires a key to be used from the interior of the door to unlock) This type of dead bolt is no longer permitted because the occupant can lock themselves inside creating a fire escape hazard. (Note: This is required to be replaced in the State of California if the house is used as a rental property.)

1.) There is evidence of moisture intrusion at the base of the sliding glass doors in the master bedroom and dining room. This appears to be from leaks at the pan flashing below the door threshold. This has resulted in moisture damage to the interior plywood subflooring and this damage appears to extend into the concealed floor framing. Additionally, there is evidence of bug damage/infestation. Proper repair would appear to required removal of the sliding glass doors. Recommend further evaluation of this condition by a qualified and licensed General Contractor and Pest Control Inspector prior to close of escrow.

2.) The garage side door is an interior rated door type. This door will be subject to premature deterioration due to the exterior weather conditions.

3.) The fixed window on the north wall of the garage is cracked.

4.) There is evidence of leaks at two of the large fixed windows on the north wall of the living room.

5.) There is moisture damage to several of the posts on the south and SE walls of the sun room.

6.) There is moisture damage and termite infestation/damage to the wood trim at the top of the chimney enclosure.

7.) There is one damaged window screen.

## GROUNDS

1.) There is moisture damage and termite infestation/damage in multiple locations at all of the site decks. (See photos) Parts of the front and rear decks were not fully visible due to the low clearance construction. Refer to the Pest Control Report for a full accounting of this damage.

**Safety Upgrade Note:** The railings at front decks do not meet the current standard of 42 inches in height. Although the current height may have met the requirements at the time of construction, upgrading to the newest standards is advised for safety.

**Safety Upgrade Note:** The railings at front entry stairs do not meet current standards for height or grasp ability. It was very typical to use a 2X4 or 2X6 rail cap for many years however, this type of rail cap can be difficult to grab in the event of

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slipping on the stairs. New requirements are for a 1 1/4" to 2" maximum width rail cap that should be installed from 34" to 38" in height as measured from the nose of the stair tread. Additionally, There should be no openings in the railing greater than four inches . Although they may have met the standards at the time of original construction, upgrading to the newest standards is advised.

2.) There is moisture damage throughout the framing and rafters at the pergola structure above the backyard deck.

**Safety Hazard Note:** There is no railing installed at the backyard deck stairs. This is required when there is four or more continuous risers. This can be a falling hazard.

**Safety Hazard Note:** There is a missing guard rail at the east end of the backyard wood deck where the spa was abandoned. This can be a falling hazard.

3.) There are general settlement cracks in the concrete driveway.

**Safety Hazard Note:** There are damaged wood spacers at the concrete driveway. This can be a tripping hazard particularly for women wearing heeled shoes.

**Drainage Note:** There is a faulty grade at the south wall of the garage and the south wall of the sun room. (This is where the soil elevation against the exterior wall is higher than the stucco screed at the base of the wall.) This can be a moisture intrusion condition. Recommend corrective grading as needed.

## HVAC

**Safety Hazard Note:** The blower door safety switch has been taped in a closed position. The purpose of this switch is to shut off the furnace if the blower door cover is dislodged. This is to prevent to products of combustion from mixing with the circulation air resulting in a carbon monoxide hazard.

**Maintenance Note:** The air filter is dirty and in need of cleaning.

## PLUMBING

1.) There is a leak at the 4" drain waste line at the SE portion of the substructure area.

2.) There is no sediment trap installed at the gas line connection to the water heater as required.

3.) The discharge pipe for the TPR valve on the water heater terminates improperly. This pipe should terminate at the exterior of the garage.

## ELECTRICAL

**Information Note:** The type of electrical panel installed in this home was manufactured by Zinsco. This panel has had some controversy among electrical contractors because in some cases they can arc and burn where they connect to the bus bar. It is not possible to see this condition without removal of the circuit breakers. Recommend further evaluation by a qualified and licensed Electrical Contractor.

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**Fire Safety Hazard Note:** There is double tapping in the main electrical service panel. (This is where two conductors are connected to a single circuit breaker.) This is advised to be corrected by a qualified and licensed Electrical Contractor.

**Safety Hazard Note:** The couplers are missing at two of the 30 amp 220 volt circuit breakers in the main electrical service panel.

1.) The GFCI outlet on the exterior wall by the front entry door is defective and will not trip. Also, an approved outdoor rated cover plate needs to be installed.

**Safety Hazard Note:** There is no GFCI protection at the bathroom outlets as required.

**Safety Upgrade Note:** There is no GFCI protection for the outlets in the garage, kitchen or at the wet bar due to the age of this home. Recommend upgrading for safety.

2.) There is some exposed Romex wiring in the cabinet below the kitchen range. This type of wiring should be installed in conduit for physical protection.

## KITCHEN & LAUNDRY

**Fire Safety Maintenance Note:** The dryer lint exhaust vent needs to be cleaned annually to prevent a back up of lint which is a very common cause of a residential fire. In most cases owners never have the lint vent cleaned. It is recommended to have the dryer lint exhaust vent professionally cleaned prior to the installation of the dryer and then annually after that.

## BATHROOM

1.) The shower door is missing in the master bathroom.

2.) Caulking is needed to seal the gaps where the vinyl flooring interfaces with the sides of the bathtub and shower pan in the master bathroom.

3.) There is a hole in the drywall where plumbing repairs were performed in the cabinet below the sink in the master bathroom.

4.) There is excessive corrosion which can result in leaks at the angle stop valves below the sink in the hall bathroom.

5.) The towel racks are loose in the hall bathroom.

6.) The ceiling exhaust fan in the hall bathroom is inoperable.

## INTERIOR

**Safety recommendation:** The smoke detectors are tested during the inspection however, this only determines that they are functional on the day of the inspection. Smoke detectors can fail at any time. Retest all of the smoke detectors during the final walkthrough and again upon moving in. We recommend installing new batteries in all of the smoke detectors upon moving in and testing weekly as recommended by the Consumer Product Safety Commission.

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123 Anywhere Lane

File # 21164

**Fire Safety Hazard Note:** There is no smoke detector installed outside of the master bedroom as required. Also, the battery needs to be replaced at the smoke detector in the downstairs hallway.

**Safety Hazard Note:** The Carbon Monoxide Poisoning Prevention Act of 2010 requires a carbon monoxide detector device (battery or hard-wired) to be installed in all dwelling units. We recommend installation of CO detectors in the hallways outside of the bedrooms and on each level of the home.

**Information Note:** The acoustical spray ceilings at the interior of the home may be an asbestos product. For more information contact a qualified and licensed Asbestos Contractor.

1.) There is evidence of subterranean termite infestation/damage at the base of the wall in the sun room adjacent to the sliding glass door.

2.) There is a brown mildew like substance on the drywall inside the master closet and the front bedroom closet. (See notes on the Deficiency Summary Page regarding the potential for microbial contamination.)

**Safety Hazard Note:** The ends of the stair railings do not return to the wall at the top and the bottom of the interior stairs. This is required to prevent clothing from catching on the railing creating a falling hazard.

**Safety Upgrade Note:** The pony wall at the top of the interior stairs do not meet the current height requirement of minimum 42 inches. Although the current height may have meet the standards at the time of construction, upgrading to meet the newest standard is recommended.

**Fire Safety Hazard Note:** Noncombustible caulking is needed in the gaps where the gas lighter log for the fireplace penetrates the side wall refractory plate. (Note: The gas pipe was capped off so it could not be tested.)

3.) The heatilator fan at the fireplace is seized and inoperable.

The report is provided as a courtesy for quicker access to DEFICIENCIES within the inspection report. This is not intended as a substitute for reading the inspection report. Items listed may be discussed further on the corresponding report page. There also may be findings other than what is listed on this page.

## Addendum

### GARAGE

**Fire Safety Hazard Note:** The common door between the garage and the house is not self closing and/or self latching. This is required as part of the firewall assembly between the garage and home.

- 1.) There is evidence of water intrusion at the interior SW corner of the garage. This appears to be due to the faulty grade at the exterior wall.
- 2.) There is a general settlement crack at the center of the concrete slab.
- 3.) There is evidence of leaks at the interior NE wall of the garage. This has created a black mildew like stain on the drywall. (See notes on the Deficiency Summary Report regarding the potential for microbial contamination.)
- 4.) There is a loose roller hinge at the garage vehicle door.

### ATTIC

- 1.) There is a damaged screen at the attic ventilation opening at the second story SW eave.

**Further Inspection Note:** There was no access provided to the attic space above the garage as required. Recommend having an access opening installed and performing a supplemental inspection of this area prior to close of escrow.

### FOUNDATION

**Maintenance Note:** There are wood scrapes or other cellulose debris in the substructure area. This is conducive to termite infestation and is recommended to be removed.

**Repair Note:** There is no ventilation installed for the substructure area. Recommend installing a minimum of 1 SF of ventilation openings for every 150 SF of crawl space area. These should be installed so as to provide cross ventilation.

- 1.) There is surface fungus and minor fungus damage to the cripple wall and plywood subflooring at the center south side of the substructure area.

**Information Note:** The foundation system appears consistent with the era in which it was constructed. In newer construction there is considerably more reinforcement for lateral stability. Consider installing additional improvements such as shear walls, additional hold downs, gusset plates on the beam to post connections, etc.